

# PLANNING COMMISSION REPORT



MEETING DATE: June 14, 2006

ITEM NO. \_\_\_\_\_ GOAL: Coordinate Planning to Balance Infrastructure

SUBJECT **Scott Toyota- 9-UP-2006**

REQUEST Request for a conditional use permit for modifications to existing automobile dealership (new and used sales) on a 5.2± acre parcel located at 6850 E. McDowell Road with Highway Commercial District (C-3) zoning.

### Key Items for Consideration:

- Restricted hours for automobile delivery trucks along north side of property.
- Potential impacts to neighbors from lighting of proposed roof-top vehicle storage deck.
- Open space, parking and parking lot landscaping.

### Related Policies, References:

- 53-UP-1984: existing conditional use permit for automobile sales and repair
- 152-SA-2006: enclosure of ground floor of existing parking garage
- 99-DR-1995 #1-2, McDowell Road Streetscape Guidelines
- 64-DR-1987#1-3, Scott Toyota Development

OWNER Miller Family Real Estate LLC  
801-563-4129

APPLICANT CONTACT Trenton Jones  
FFKR Architects  
801-521-6186

LOCATION 6850 E. McDowell Rd.

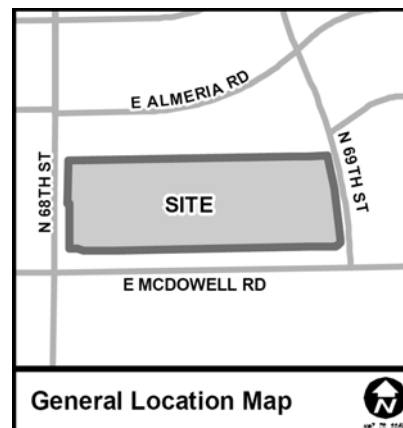
BACKGROUND

### Zoning.

The site is zoned Highway Commercial District (C-3), which allows for most types of commercial activities. This includes the sale of commodities or performance of services, intended to serve a larger segment of population than the average neighborhood. The C-3 District requires a use permit for automobile sales (new and used).

### General Plan.

The General Plan Land Use Element designates the property as Mixed-Use Neighborhoods. These neighborhoods are located in areas with strong access



to multiple modes of transportation and major regional access and services. Mixed-use areas can provide a mix of residential and non-residential uses while respecting privacy and personal property rights. Wherever non-residential uses are adjacent to established residential areas, special care must be taken to ensure privacy and to protect personal property.

**Context.**

This 5.2± acre property is located on northeast corner of E. McDowell Road and North 68<sup>th</sup> Street, and is surrounded by the following:

- North: Single-family residential (R-1-7 Zoning District)
- South: Automobile dealership across E. McDowell Road (C-3 Zoning District)
- East: Automobile dealership (C-3 Zoning District)
- West: Commercial retail across 68<sup>th</sup> Street (C-3 Zoning District)

**APPLICANT'S  
PROPOSAL****Goal/Purpose of Request.**

This request is for a Conditional Use Permit for site and building modifications to an existing automobile dealership. The existing use permit (53-UP-1984) stipulates that development shall be in substantial conformance with the site plan that was submitted as part of that previously approved application. The subject proposal includes a substantive change to the site plan, and thus requires an amendment to the use permit.

The current proposal includes demolition of four single-story buildings that contain the showroom, customer areas, offices and service bays. The existing two-level parking structure, streetscape landscaping, perimeter walls and landscaping are to remain in place. Business operations will remain the same, with the exception of automobile delivery truck access, which will be located along the north perimeter of the property. Showroom, customer areas, offices and service bays are to be relocated under a single roof to a fully enclosed new building adjoined to the existing two-level parking structure.

The first floor of the new building is to house the showroom, customer areas, offices and service bays. The new building is to include a roof-top deck for vehicle storage which would have a vehicular access ramp from the existing parking structure.

The site has three existing driveways on E. McDowell Road and a fourth driveway on N. 68<sup>th</sup> Street. The proposal includes a fifth driveway off of N. 69<sup>th</sup> Street to access the fire lane that runs along the north edge of the property and culminates in the west parking area. Trucks delivering vehicles would utilize this lane.

**Development Information.**

- *Existing Use:* Automobile dealership (sale of both new and used, and associated repair facilities)
- *Buildings/Description:* Demolition of four existing single-story buildings, and construction of a new building adjoining the existing two-level parking structure.

- *Parcel Size:* 5.2± acres
- *Building Volume:* 2,127,293 cu. ft. allowed/ 2,083,172 cu ft. proposed
- *Building Height:* 36 ft. allowed/ 34'3" existing & proposed
- *Open Space:* 41,991 sq. ft. required/ 43,782 sq. ft. proposed
- *Frontage Open Space:* 20,941 sq. ft. required/ 28,375 sq. ft. proposed
- *Parking Required/Proposed:* 7 customer stalls/41 customer stalls  
96 employee stalls/109 employee stalls  
Plus additional 233 vehicle display/storage stalls
- *Parking Lot Landscaping:* 3,807 sq. ft required/4,169 sq. ft. proposed

## IMPACT ANALYSIS

### **Traffic.**

The proposed increase in gross floor area from 98,000 square feet to 112,044 square feet to accommodate additional vehicle display/storage is not anticipated to generate additional traffic. However, the new access road proposed alongside the existing alley that separates the dealership from single-family residences is proposed to be utilized by automobile delivery trucks. In order to mitigate potential noise impacts to neighbors, a stipulation is included to restrict delivery truck usage of the north access road to the same hours that vehicle service/repair work is allowed: Monday-Friday 7:00 AM – 6:30 PM and Saturday 7:00 AM – 5:00 PM, with automobile delivery truck access prohibited on Sundays and holidays. The site plan is designed such that automobile delivery trucks arriving during prohibited hours may access the property via the existing driveways on E. McDowell Road and N. 68<sup>th</sup> Street.

### **Parking.**

A sufficient amount of customer and employee parking spaces is proposed, as well as vehicle display/storage spaces.

### **Water/Sewer.**

No new demand for water and sewer is generated by the proposal.

### **Police/Fire.**

No new demand for police/fire services is generated by the proposal.

### **Open space, scenic corridors.**

The proposal provides ample open space and landscaping. Stipulations require the vehicle display/storage and customer/employee parking occur only in their respective designated places, and not in driveways, vehicle maneuvering areas or landscaped areas. E. McDowell Road is not considered a scenic corridor; however, the stipulations require that frontage landscaping be coordinated with the City of Scottsdale McDowell Road Streetscape project.

**Lighting.**

The proposal includes a lighted roof-top vehicle storage deck on the new building. The existing parking structure has a lighted roof-top vehicle storage deck with a seven-foot high screen wall along the perimeter and wall-mounted light fixtures. These screening methods have proven effective. Stipulations have been included requiring the same type of treatment to ensure neighboring residences are not negatively impacted. The stipulations also require the developer to submit a pre-curfew and post-curfew outdoor lighting plan for all roof-top vehicle areas, subject to review and approval by the Development Review Board, and require light sources from the roof be invisible from off-site.

All new exterior lighting, along with building elevations and landscaping, shall require approval by the Development Review Board.

**Use Permit Criteria.**

Conditional use permits, which may be revocable, conditional, or valid for a specified time period, may be granted only when expressly permitted after the Planning Commission has made a recommendation and the City Council has found as follows:

- A. That the granting of such conditional use permit will not be materially detrimental to the public health, safety or welfare. In reaching this conclusion, the Planning Commission and the City Council's consideration shall include, but not be limited to, the following factors:
  1. Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination.
    - **There will be no outdoor auto repair or service and no outdoor speakers. Service bays will be completely enclosed. Automobile service/repair activities shall be restricted to the following hours: Monday-Friday 7:00 AM – 6:30 PM and Saturday 7:00 AM – 5:00 PM. There shall be no repair/service work permitted on site at any time on Sunday and holidays.**
    - **Automobile delivery truck use of the north access road adjacent to single-family residences will be restricted to Monday-Friday 7:00 AM – 6:30 PM and Saturday 7:00 AM – 5:00 PM, with automobile delivery truck access prohibited on Sundays and holidays.**
    - **Existing perimeter walls and landscape buffers are to be maintained.**
    - **Roof-top vehicle storage area lighting fixtures will be located below the screen wall to prevent light trespass into the residential neighborhood. The new screen wall shall be of a height equal to or greater than the existing seven-foot screen wall located on the top floor of the parking garage. Light sources on the top floor vehicle storage area shall not be visible from off site. The developer shall be required to submit a pre-curfew and post-curfew outdoor lighting plan for all roof-top vehicle areas, subject to review and approval by the Development Review Board.**
  2. Impact on surrounding areas resulting from an unusual volume or

character of traffic.

- **The proposed increase in gross floor area from 98,000 square feet to 112,044 square feet to accommodate additional vehicle display/storage is not anticipated to generate additional traffic.**
3. There are no other factors associated with this project that will be materially detrimental to the public.
- **Existing business operations will remain the same, with the exception of automobile delivery truck access, which is mitigated via restriction of delivery hours in the north access road adjacent to single-family residences.**
- B. The characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas.
- **This automobile dealership business, along with many others on the McDowell Road corridor, has been in operation for several years. Operations will remain the same, with the exception of automobile delivery truck access, which is mitigated via restriction of delivery hours in the north access road adjacent to single-family residences. Perimeter walls and landscape buffers are to remain in place.**
- C. The additional conditions specified in Section 1.403, as applicable, have been satisfied.
- **There will be no outdoor auto repair or service and no outdoor speakers. Service bays will be completely enclosed. Automobile service/repair activities shall be restricted to the following hours: Monday-Friday 7:00 AM – 6:30 PM and Saturday 7:00 AM – 5:00 PM. There shall be no repair/service work permitted on site at any time on Sunday and holidays.**
  - **Vehicular entry to service buildings is via side entry which is screened from street views. The site is designed to avoid exposing repair bays, unassembled vehicles, auto repair activities or auto parts to any street.**
  - **All vehicles awaiting repair are screened from view by walls.**
  - **The maximum area for outdoor vehicle display does not exceed 20% of the total net lot area, and is limited to hard-surfaced display areas that are incorporated into a setting of meaningful open space. All areas designated for vehicle storage are screened from view by masonry walls and landscape screens.**

#### **Community Involvement.**

The site has been posted and surrounding property owners within 750 feet have been notified. Other than general inquiries, there have been no comments regarding this application.

#### **Community Impact.**

The proposed modifications to the existing automobile dealership will not have a negative impact on traffic, infrastructure, or other community services.

**STAFF  
RECOMMENDATION****Recommended Approach:**

Staff recommends approval subject to the attached stipulations, finding that the Conditional Use Permit Criteria has been met.

**RESPONSIBLE  
DEPT(S)**

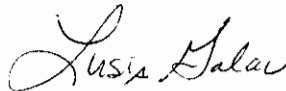
**Planning and Development Services Department**  
Current Planning Services

**STAFF CONTACT(S)**

Kim Chafin, AICP  
Senior Planner  
480-312-7734  
E-mail: kchafin@ScottsdaleAZ.gov

**APPROVED BY**

Kim Chafin, AICP  
Report Author



Lusia Galav, AICP  
Current Planning Director

**ATTACHMENTS**

1. Applicant's Narrative
2. Context Aerial
- 2A. Detail Aerial
3. Zoning Map
4. Stipulations
5. Additional Information
6. Citizen Involvement
7. City Notification Map
8. Site Plan - existing
9. Site Plan - proposed
10. Floor Plan



# Project Narrative

This document will be uploaded to a Case Fact Sheet on the City's web site.

Date: 05/25/06

Project No.: \_\_\_\_\_ PA: \_\_\_\_\_

Coordinator: Kim Chafin

Case No.: \_\_\_\_\_

Project Name: Scott Toyota

**Project Location:** 6850 E. McDowell Rd., Scottsdale, AZ, 85257

## Property Details:

☐ Single-Family Residential ☐ Multi-Family Residential ☒ Commercial ☐ Industrial

Current Zoning: C-3

Proposed Zoning: C-3 (no change)

Number of Buildings: 4 demo, 1 new, 1 existing

Parcel Size: 221,593 SF

Gross Floor Area/Total Units: 166,339 (all levels)

Floor Area Ratio/Density: 42% (footprint only)

Parking Required: 113 stalls

Parking Provided: 383 (including bldg)

Setbacks: N - 50'-0"

S - 35'-0"

E - 0'-0"

W - 0'-0"

## Description of Request:

We are requesting a Use Permit for the existing Automotive Dealership at the above listed address. This Application is being submitted because the Owner would like to make some major changes to the facilities on-site, beyond the scope allowed by the original Use Permit, per the City of Scottsdale, AZ. The site use will not change from its current use as an Automotive Dealership, which is an allowed use in C-3 zones.

Phase 1: Demolition of a portion of the buildings on-site (four total). The existing site is to be re-graded during this phase and prepared for Phase 2. It is intended that the existing streetscape landscaping, as designed and installed by the City of Scottsdale, is to remain in place and be protected during both phases. The facility is to be in operation through Phase 1 & 2, though the Vehicle Service Department will be relocated off-site temporarily. Fire lanes will remain in-place throughout both phases.

Phase 2: Construction of the proposed new Dealership facility allowing for an overall increase of usable open space along McDowell Road and 68th street. This new facility will house offices, showroom area, customer areas and Service Bays that meet current Toyota Corporate standards. It is designed to meet these standards on the exterior as well, incorporating Composite Metal Panels, Mirro translucent panels, aluminum storefront, EIFS and painted or split-face CMU to create a facade that blends with adjacent structures and uses. New areas of landscaping are to be created and are to be planted to match the existing landscaping that was to remain during Phase 1. The delivery truck travel path will utilize the dead-end section of 69th Street, the fire lane along the North edge of the property and the drive aisle along the West end of the new facility. Outdoor lighting, particularly along the North edge of the property, is to be restricted to the existing hours of operation when they fall within hours of darkness:

Monday-Friday 7:00 AM - 9:00 PM, Saturday 7:00 AM - 8:00 PM, Sunday 10:00 AM - 6:00 PM

## Planning and Development Services Department

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088





Scott Toyota

9-UP-2006

ATTACHMENT #2





N 68TH ST

E ALMERIA RD

E ALMERIA RD

N 69TH ST

SITE

E MCDOWELL RD

Q.S.  
13-44

G.I.S. ORTHOPHOTO 2005

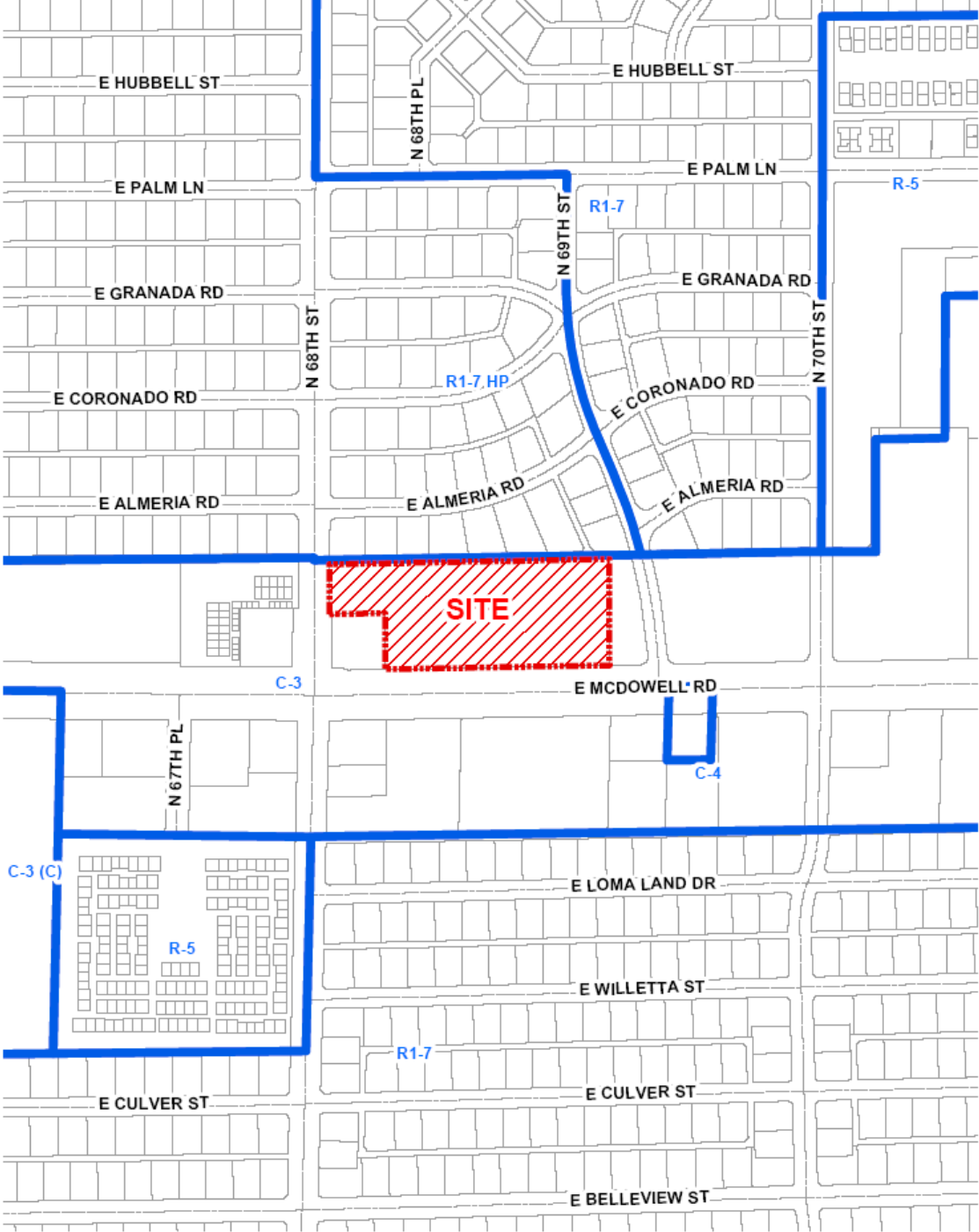


Scott Toyota

9-UP-2006

ATTACHMENT #2A

# Zoning Map



## **STIPULATIONS FOR CASE 9-UP-2006**

### **PLANNING/ DEVELOPMENT**

1. **CONFORMANCE TO DEVELOPMENT SUBMITTAL.** Development shall conform to the site plan submitted by FFKR Architects with a staff receipt date of 5/25/06. These stipulations take precedence over the above-referenced site plan and Case 53-UP-1984. Any proposed significant change, as determined by the Zoning Administrator, shall be subject to subsequent public hearings before the Planning Commission and City Council.
2. **PHASING.** Before issuance of any building permit for Phase I (demolition of four existing buildings), the developer shall be required to obtain City approval for enclosure of the ground floor of the existing parking garage. Outdoor service/repair activities shall not be allowed on site at any time. Prior to issuance of any building permit for Phase II (construction of proposed new dealership facility), the developer shall obtain approval from the Development Review Board.
3. **AUTO SERVICE AND REPAIR.** There shall be no outdoor automobile service or repair activities at this location. Automobile service/repair activities shall be restricted to the following hours: Monday-Friday 7:00 AM – 6:30 PM and Saturday 7:00 AM – 5:00 PM. There shall be no repair/service work permitted on site at any time on Sunday and holidays.
4. **SOUND.** There shall be no external speakers or public address system. Any internal speakers or public address system shall not be audible from the exterior of the building.
5. **LIGHTING.** All new exterior lighting shall be approved by the Development Review Board.
  - a. Any proposed lighting on the roof-top vehicle storage areas of the new dealership facility shall be located below the height of a screen wall of the top floor. The new screen wall shall be of a height equal to or greater than the existing seven-foot screen wall located on the top floor of the parking garage. Light sources on the top floor vehicle storage area shall not be visible from off site.
  - b. The developer shall be required to submit a pre-curfew and post-curfew outdoor lighting plan for all roof-top vehicle areas, subject to review and approval by the Development Review Board..
6. **NORTH LANDSCAPE BUFFER:** Developer shall maintain a dense landscape screen and screen wall along the north property line, to the satisfaction of the Development Review Board.
7. **VEHICLE DISPLAY, VEHICLE STORAGE AND PARKING.** Vehicle display, vehicle storage and customer/employee parking shall occur only in their respective designated places, and not in driveways, vehicle maneuvering areas, or landscaped open space areas.
8. **AUTOMOBILE DELIVERY TRUCKS.** Use of the fire access lane along the north property line by automobile delivery trucks shall be restricted to the following hours: Monday-Friday 7:00 AM – 6:30 PM and Saturday 7:00 AM – 5:00 PM. Use of the fire access lane along the north property line by automobile delivery trucks is prohibited on Sunday and holidays.
9. **DURATION.** This Use Permit is valid until such time as the use is abandoned for a period of one year.

### **CIRCULATION**

1. **MC DOWELL ROAD STREETSCAPE.** Any site improvements along McDowell Road, especially landscaping and signage, shall be coordinated with the City of Scottsdale

McDowell Road Streetscape project. The landscape plans prepared for the Development Review Board Submittal shall show all coordination and pertinent details.

2. ACCESS RESTRICTIONS. Access to the site shall conform to the following restrictions:
  - a. McDowell Road - There shall be a maximum of three site driveways. The driveways shall remain in their current location.
  - b. N. 69<sup>th</sup> Street- There shall be a maximum of one site driveway.
  - c. N. 68<sup>th</sup> Street- There shall be a maximum of one site driveway, but it shall be modified to current driveway standards.
3. PEDESTRIAN CIRCULATION. With the Development Review Board submittal, the developer shall provide pedestrian connections from the site building to the adjacent streets.
4. TRANSIT FACILITIES. Before issuance of any certificate of occupancy for the site, the developer shall upgrade the existing bus shelter that currently exists on N. 68<sup>th</sup> Street to the new shelter type. The design and location of these facilities shall be subject to city staff approval (Transit Department 480-312-7696) before any final plan approval.

#### DRAINAGE AND FLOOD CONTROL

1. STORM WATER STORAGE REQUIREMENT. The developer shall prepare a stormwater storage waiver and incorporate it into the drainage report. On-site storm water storage is required for the full 100-year, 2-hour storm event, unless city staff approves the developer's Request for Waiver. See Section 2 of the Design Standards and Policies Manual for waiver criteria.
  - a. If applicable, the developer shall submit to the Plan Review Division a Request for Waiver Review form, which shall:
    - i. Include a supportive argument that demonstrates historical flow through the site will be maintained, and that storm water runoff exiting this site has a safe place to flow.
    - ii. Include an estimate for payment in-lieu of on-site storm water storage, subject to city staff approval.
  - b. The developer shall obtain an approved Stormwater Storage Waiver. The approved waiver shall be obtained before the Development Review Board (DRB) case can be scheduled for a DRB hearing, and before the developer submits the improvement plans to the Planning and Development Services Department.
2. STORM WATER STORAGE EASEMENTS. With the Development Review Board submittal, the developer shall submit a site plan subject to city staff approval. The site plan shall include and identify tracts with easements dedicated for the purposes of storm water storage, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual.

## **ADDITIONAL INFORMATION FOR CASE 9-UP-2006**

### **PLANNING/DEVELOPMENT**

1. **DEVELOPMENT REVIEW BOARD.** The City Council directs the Development Review Board's attention to:
  - a. Building elevations,
  - b. Landscaping,
  - c. Screen wall design,
  - d. Type, height, design, and intensity of proposed lighting on the site, to ensure that it is compatible with the adjacent uses.
2. **NATIVE PLANT PRESERVATION.** The owner shall secure a native plant permit as defined in the Scottsdale Revised Code for each parcel. City staff will work with the owner to designate the extent of the survey required within large areas of proposed undisturbed open space. Where excess plant material is anticipated, those plants shall be offered to the public at no cost to the owner in accordance with state law and permit procedure or may be offered for sale.

### **ENGINEERING**

1. **RESPONSIBILITY FOR CONSTRUCTION OF INFRASTRUCTURE.** The developer shall be responsible for all improvements associated with the development or phase of the development and/or required for access or service to the development or phase of the development. Improvements shall include, but not be limited to washes, storm drains, drainage structures, water systems, sanitary sewer systems, curbs and gutters, paving, sidewalks, streetlights, street signs, and landscaping. The granting of zoning/use permit does not and shall not commit the city to provide any of these improvements.
2. **FEES.** The construction of water and sewer facilities necessary to serve the site shall not be in-lieu of those fees that are applicable at the time building permits are granted. Fees shall include, but not be limited to the water development fee, water resources development fee, water recharge fee, sewer development fee or development tax, water replenishment district charge, pump tax, or any other water, sewer, or effluent fee.
3. **CITY CONTROL OF ACCESS.** The city retains the right to modify or void access within city right-of-way. The city's responsibility to promote safe conditions for the traveling public takes precedence over the stipulations above.

### **DRAINAGE**

1. **CONCEPTUAL DRAINAGE REPORT.** With the Development Review Board submittal, the developer shall submit a conceptual drainage report and plan subject to city staff approval. The conceptual report and plan shall conform to the Design Standards and Policies Manual - Drainage Report Preparation. In addition, the conceptual drainage report and plan shall:
  - a. Identify all major wash corridors entering and exiting the site, and calculate the peak discharge (100-yr, 6-hr storm event) for a pre- versus post-development discharge comparison of ALL washes which exit the property.
  - b. Determine easement dimensions necessary to accommodate design discharges.
  - c. Demonstrate how the storm water storage requirement is satisfied, indicating the location, volume and drainage area of all storage.



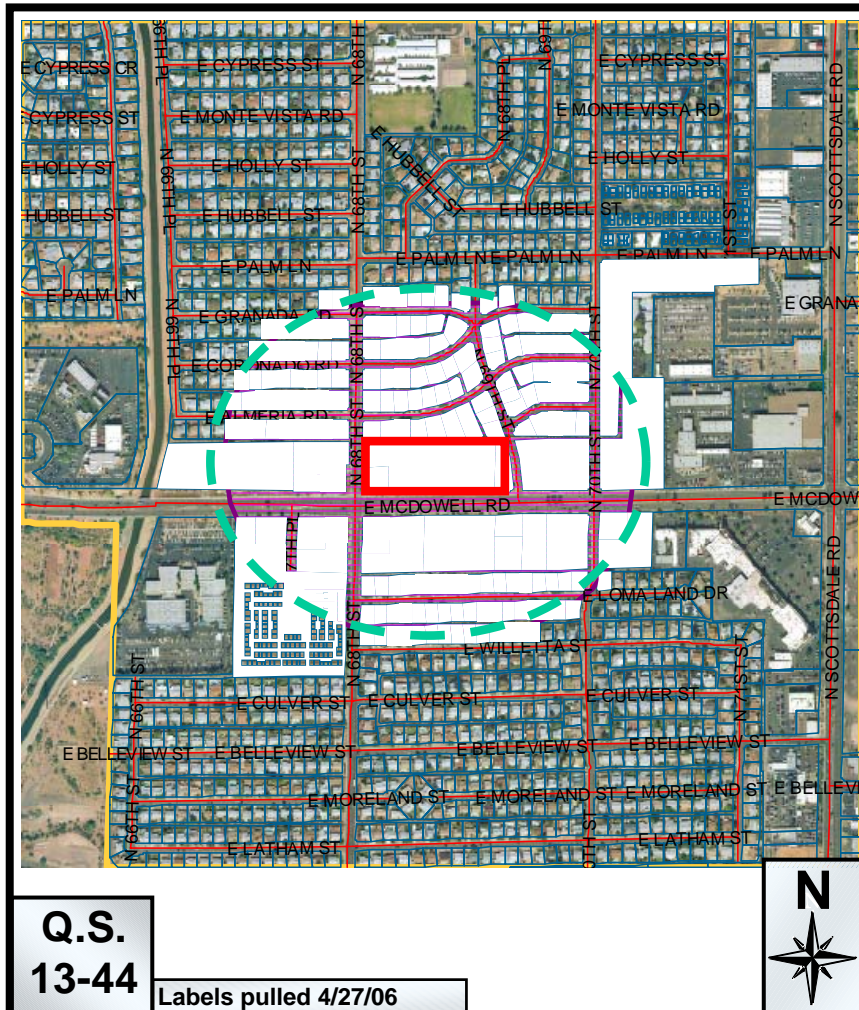
- d. Include flood zone information to establish the basis for determining finish floor elevations in conformance with the Scottsdale Revised Code.
- e. Include a complete description of requirements relating to project phasing.

**Scott Toyota**  
**9-UP-2006**

Attachment #6 Citizen Involvement

The above attachment is on file at the City of  
Scottsdale Current Planning office,  
7447 E Indian School Road, Suite 105.

# City Notifications – Mailing List Selection Map



## Map Legend:



Site Boundary



Properties within 750-feet

## Additional Notifications:

- Interested Parties
- Polynesian Paradise
- Scottsdale Coalition
- La Oua Plaza Association
- Coalition of Pinnacle Peak (C.O.P.P.)

**Scott Toyota**

**9-UP-2006**

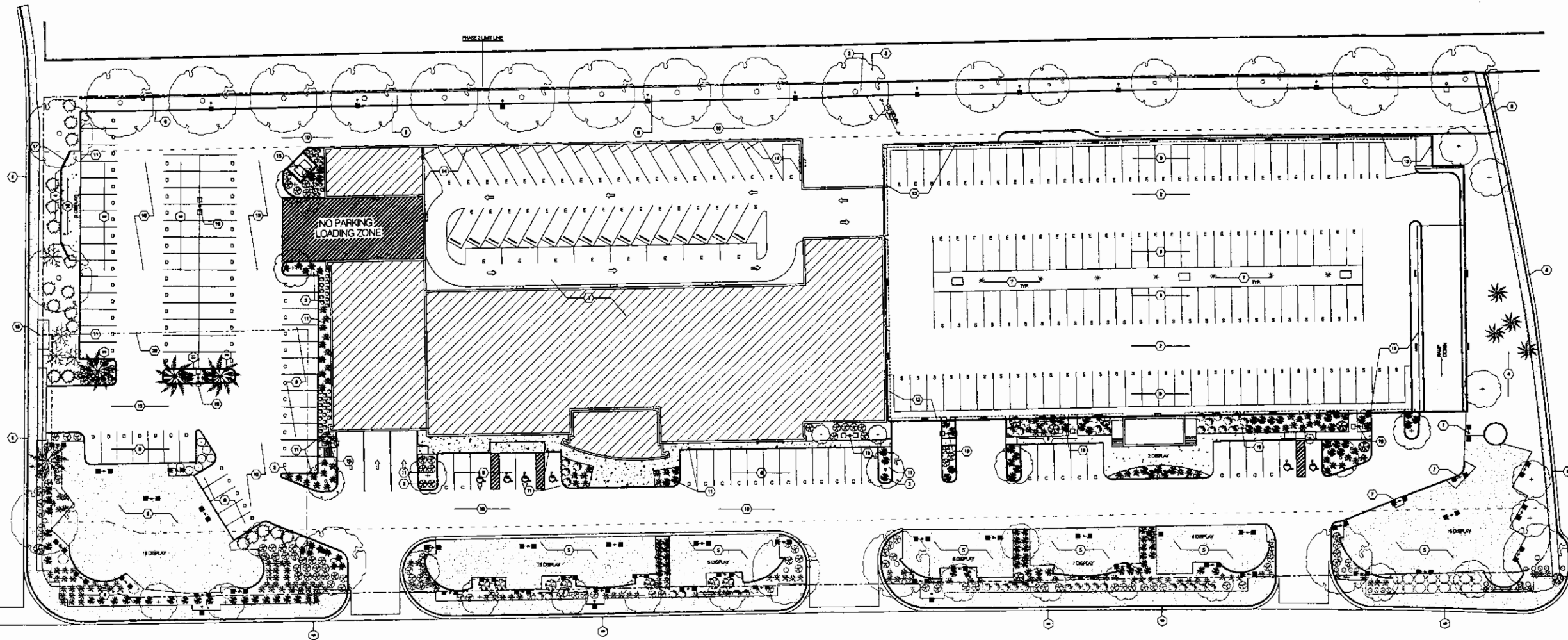
ATTACHMENT #7



SCOTT TOYOTA  
6850 E. MCDOWELL ROAD  
SCOTTSDALE, AZ 85257

| PARKING KEY (OUTSIDE PARKING)   |  | REFERENCE NOTES - PHASE ONE | GENERAL NOTES | KEY PLAN |
|---|--|-----------------------------|---------------|----------|
| C = CURBWAY (TOTAL OF 16)<br>D = DISPLAY (TOTAL OF 78)<br>E = STORAGE (TOTAL OF 88)<br>F = EMPLOYEE (TOTAL OF 78)<br>G = ADA (TOTAL OF 8)<br>EXISTING OUTSIDE<br>PARKING TOTAL: 252 | 1. EXISTING BUILDING<br>2. EXISTING RET. WALL<br>3. EXISTING PAVING<br>4. EXISTING LANDSCAPING BY CITY<br>5. EXISTING CURB DISPLAY AREA<br>6. EXISTING CONCRETE CURB AND OUTLET<br>7. EXISTING SITE LIGHTING<br>8. EXISTING BUS STOP<br>9. EXISTING OFF-PARKER CURB/PARKER AREA<br>10. EXISTING ALLEY<br>11. EXISTING CURB PUMP<br>12. EXISTING 6.6KV TRANSFORMER<br>13. 7'-0" TALL EXISTING PARAWET SCREEN WALL |                             |               |          |

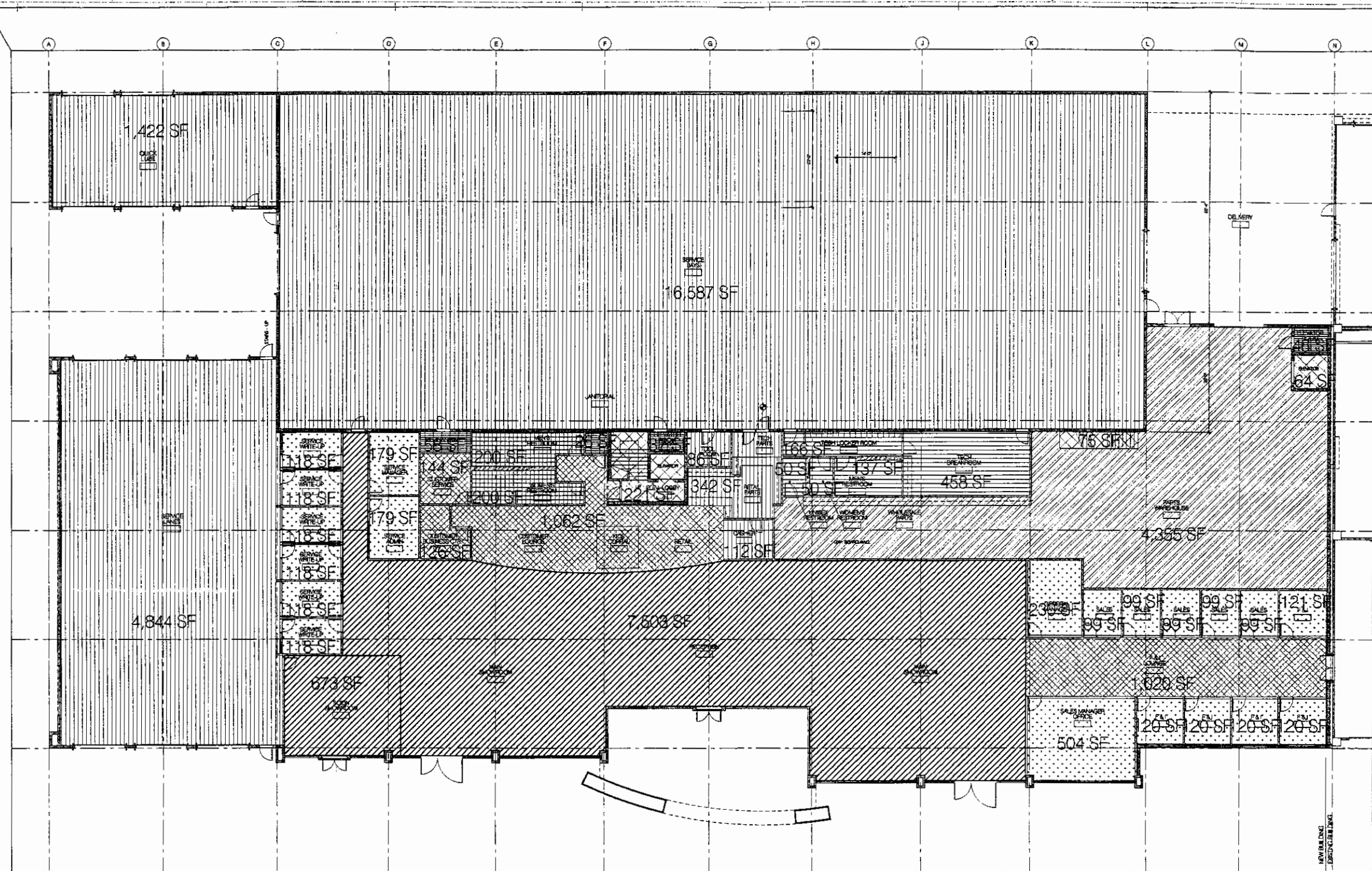
## ATTACHMENT #8

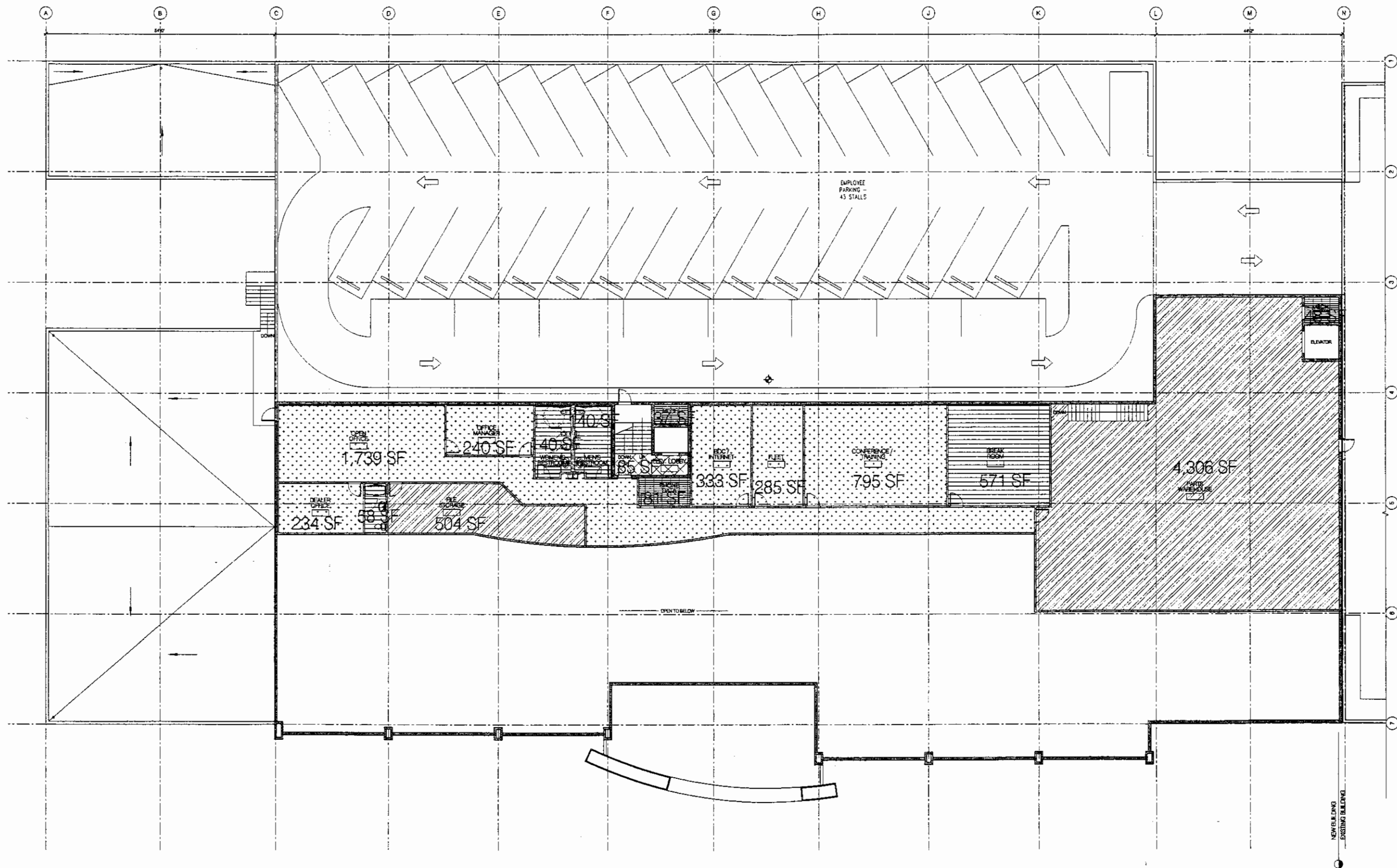


A1 OVERALL SITE PLAN  
SCALE 1" = 50'-0"

| OUTDOOR PARKING KEY                |     | PROJECT DATA   |              | SITE LIGHTING KEY        |                          | REFERENCE NOTES - PHASE ONE   |  | GENERAL NOTES  |  | KEY PLAN |  |
|------------------------------------|-----|--|--------------|--------------------------|--------------------------|---|--|--|--|----------|--|
| E = EMPLOYEE                       | 38  |  |              | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 1. NEW BUILDING   |  | 1. MAINTAIN ALL PRELIM LINES DURING CONSTRUCTION               |  |          | <p>DATE: 05/25/2006<br/>DRAWN BY: J. L. PERKINS<br/>CHECKED BY: J. L. PERKINS<br/>DATE: 05/25/2006</p> |
| C = CUSTOMER                       | 35  | FLOOR AREA MAINT   | 177,274 SF   | □ = EXISTING DOUBLE HEAD | □ = EXISTING DOUBLE HEAD | 2. NEW LANDSCAPING LAYOUT EXISTING  |  | 2. LANDSCAPING OF THE 20 THIRDS APPLICABLE PARCELS IS UNDERWAY |  |          |  |
| V = VEHICLE SERVICE                | 17  | VOLUME PAID  | 5,177,268 SF | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 3. EXISTING LANDSCAPING BY CITY TO REMAIN                                     |  |  |  |          |  |
| D = VEHICLE DISPLAY                | 126 | OPEN SPACE CALLS   | 41,881 SF    | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 4. EXISTING VEHICLE DISPLAY AREA  |  |  |  |          |  |
| A = ADA PARKING                    | 2   | PROVIDE OPEN SPACE                                       | 81,024 SF    | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 5. EXISTING CONCRETE CURB AND GUTTER  |  |  |  |          |  |
| W = WALKWAY ACCESSIBLE ADA PARKING | 2   | PARKING LANDSCAPING                                      | 5,507 SF     | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 6. EXISTING SITE LIGHTING   |  |  |  |          |  |
| TOTAL PROPOSED OUTDOOR PARKING     | 308 | BUILDING HEIGHT  | 39'-0"       | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 7. NEW PAINTED STRIPES  |  |  |  |          |  |
| TOTAL REQUIRED OUTDOOR PARKING     | 112 | S.O.P. NET LOT AREA DEDICATED TO OUTDOOR VEHICLE DISPLAY | 276          | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 8. EXISTING PAINTED STRIPES   |  |  |  |          |  |
|                                    |     |  | (41,882 SF)  | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 9. NEW ASPHALT OVER PREPARED BED. SEAL @ JOINTS W/ EXISTING TO REMAIN ASPHALT |  |  |  |          |  |
|                                    |     |  | (28,838 SF)  | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 10. NEW CONCRETE CURB, GUTTER AND SIDEWALK                                    |  |  |  |          |  |
|                                    |     |  |              | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 11. NEW SITE WALL, SECTION MATCH EXISTING                                     |  |  |  |          |  |
|                                    |     |  |              | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 12. EXISTING 7'-0" OFF ROOF SURFACE LANDSCAPING PARAWET                       |  |  |  |          |  |
|                                    |     |  |              | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 13. NEW 7'-0" OFF ROOF SURFACE PARAWET / SCREEN WALL                          |  |  |  |          |  |
|                                    |     |  |              | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 14. EXISTING 18" BUSH TO REMAIN NO MODIFICATIONS                              |  |  |  |          |  |
|                                    |     |  |              | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 15. NEW CHALK BOARD SIGNAGE ENCLOSURE   |  |  |  |          |  |
|                                    |     |  |              | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 16. NEW 6' TALL CHALK WALL TO MATCH EXISTING                                  |  |  |  |          |  |
|                                    |     |  |              | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 17. NEW CAR DISPLAY AREA  |  |  |  |          |  |
|                                    |     |  |              | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 18. NEW STEEL SHED  |  |  |  |          |  |
|                                    |     |  |              | □ = EXISTING SINGLE HEAD | □ = EXISTING DOUBLE HEAD | 19. EXISTING POWER LINE   |  |  |  |          |  |
















LEVEL TWO  
FLOOR PLAN  
SCALE: 1/8" = 1'-0"

### LEGEND

- |   |  |   |   |
|---|--|---|---|
|  | DEDUCTS OFFICE SPACE<br>3,696 SF TOTAL             |  | DEDUCTS EMPLOYEE BREAK SPACE<br>INCLUDING EMPLOYEE ONLY RESTROOMS<br>910 SF TOTAL |
|  | DEDUCTS SHOWROOM SPACE<br>0 SF TOTAL               |  | DEDUCTS WAREHOUSE & STORAGE<br>4,811 SF TOTAL                                     |
|  | DEDUCTS CUSTOMER SPACE<br>0 SF TOTAL               |  | DEDUCTS BUILDING FACILITIES (MECHANICAL,<br>JUNIORIAL, ETC.)<br>188 SF TOTAL      |
|  | DEDUCTS PUBLIC RESTROOM SPACE<br>0 SF TOTAL        |   |   |
|  | DEDUCTS SERVICE SPACE<br>0 SF TOTAL                |   |   |
|  | DEDUCTS INDOOR VEHICLE STORAGE SPACE<br>0 SF TOTAL |   |   |